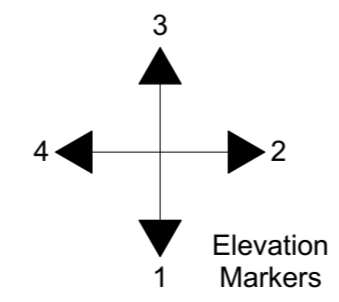


Proposed Floor Plan scale 1:100



NOTE:  
THIS DRAWING IS  
PRELIMINARY AND IS SUBJECT  
TO FINAL CONTOUR SURVEY  
VOGUE HOMES RESERVES  
THE RIGHT TO CHANGE  
DESIGN BASED ON FINAL  
SURVEY.

HOUSE AREAS	
Living Area:	452.71m <sup>2</sup>
Garage:	82.29m <sup>2</sup>
Alfresco:	43.00m <sup>2</sup>
Porch:	5.44m <sup>2</sup>
Total Area:	583.44m <sup>2</sup>
	62.73sq
CDC Gross Floor Area:	488.66m <sup>2</sup>

- General Notes:**
- \* Builder shall check and verify all dimensions prior to the commencement of any work.
  - \* All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
  - 2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
  - \* All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
  - \* Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
  - \* All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
  - \* Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
  - \* Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.
- Construction Notes:**
- \* Check all steel posts & Beams, Floor Joist to structural engineer plans.
  - \* Articulation Joints to engineers plans.
  - \* Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with Owner & Manufacturer Details.
  - \* All windows: Insulation requirements, lighting to comply with Basic Certificate Approved by council.
  - \* Structural slab to engineer details.
  - \* Stairs to be confirmed with manufacturers details.
  - \* Meter Box, Gas Meter to be confirmed with Builder on site.
  - \* Downpipes to be confirmed with plumber on site.
  - \* A/C Droppers & Ducts to be located at contractors discretion.

**VOGUE HOMES**

**JR Design & Drafting**  
Residential Design & Drafting Services

Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
Email: jr.design.drafting@gmail.com  
Address: Level 3, Suite 304 No. 447 Victoria Street,  
Wetherill Park, NSW 2164

Project North

**Copyright:**  
This plan is the exclusive property of Vogue Homes, and must not be used, reproduced or copied wholly in any way without permission

Project Name:

**New Single Storey Dwelling**

Client Name:

**Vogue Homes**

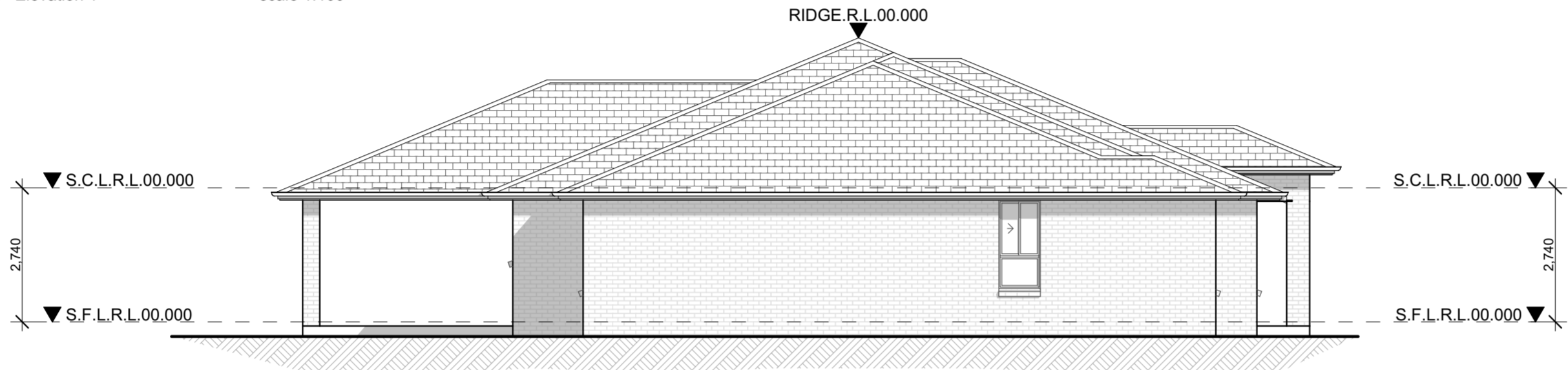
Location:

**TBC**

Drawing Title:	Revision:
Proposed Floor Plan	<b>A</b>
Scale:	<b>Concept Plans</b>
<b>1:100</b>	Date:
	<b>25.07.2021</b>
Page:	LGA:
<b>1 of 2</b>	<b>TBC</b>
Design Name:	Project No:
<b>Bedford 62</b>	<b>0000</b>



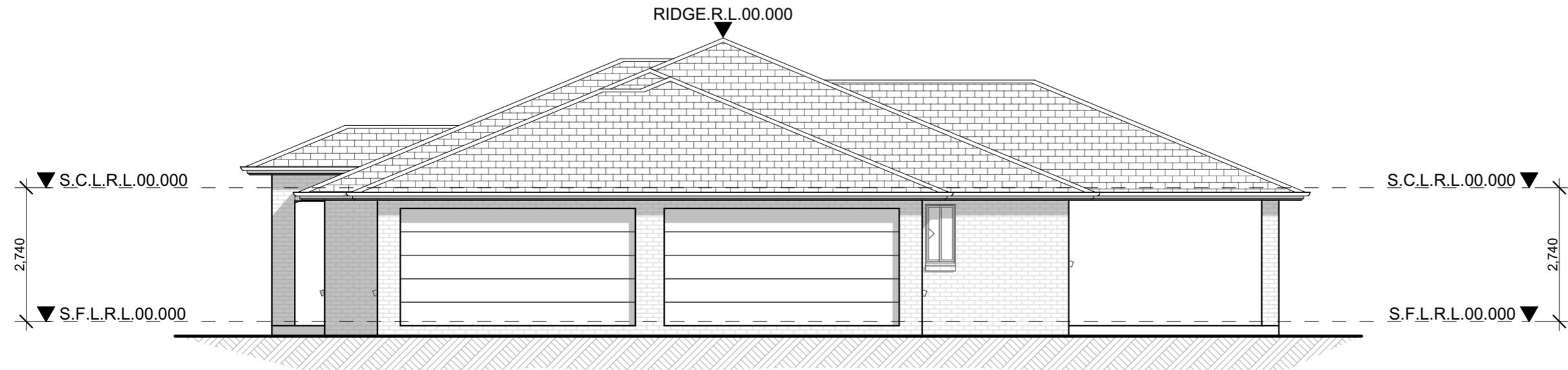
Front Elevation  
Elevation 1 scale 1:100



Side Elevation  
Elevation 4 scale 1:100



Rear Elevation  
Elevation 3 scale 1:100



Side Elevation  
Elevation 2 scale 1:100

- General Notes:**
- \* Builder shall check and verify all dimensions prior to the commencement of any work.
  - \* All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
  - 2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
  - \* All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
  - \* Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
  - \* All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
  - \* Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
  - \* Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.
- Construction Notes:**
- \* Check all steel posts & Beams, Floor Joist to structural engineer plans
  - \* Articulation Joints to engineers plans
  - \* Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with Owner & Manufacturer Details.
  - \* All windows: Insulation requirements, lighting to comply with Basic Certificate Approved by council.
  - \* Structural slab to engineer details.
  - \* Stairs to be confirmed with manufacturers details.
  - \* Meter Box, Gas Meter to be confirmed with Builder on site.
  - \* Downpipes to be confirmed with plumber on site.
  - \* A/C Droppers & Ducts to be located at contractors discretion

**VOGUE HOMES**

**JR Design & Drafting**  
Residential Design & Drafting Services

Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
Email: jr.design.drafting@gmail.com  
Address: Level 3, Suite 304 No. 447 Victoria Street, Wetherill Park, NSW 2164

Project North

**Copyright:**  
This plan is the exclusive property of Vogue Homes, and must not be used, reproduced or copied wholly in any way without permission

Project Name:  
**New Single Storey Dwelling**

Client Name:  
**Vogue Homes**

Location:  
**TBC**

Drawing Title:  
Elevations

Revision:  
**A**

Scale:  
**1:100**

Date:  
**25.07.2021**

Page:  
**2 of 2**

LGA:  
**TBC**

Design Name:  
**Bedford 62**

Project No:  
**0000**